

<b>APPLICATION NO</b>	<b>PA/2020/564</b>
<b>APPLICANT</b>	Mr J Addison
<b>DEVELOPMENT</b>	Planning permission to change the use of a workshop to a dwelling, including a new extension
<b>LOCATION</b>	Workshop south of North-Holme, Saxby Road, Bonby, DN20 0PY
<b>PARISH</b>	Bonby
<b>WARD</b>	Brigg and Wolds
<b>CASE OFFICER</b>	Brian McParland
<b>SUMMARY RECOMMENDATION</b>	<b>Grant permission subject to conditions</b>
<b>REASONS FOR REFERENCE TO COMMITTEE</b>	The proposal would represent a departure from the North Lincolnshire Local Plan

## **POLICIES**

**National Planning Policy Framework:** Section 5 – Delivering a sufficient supply of homes

Paragraph 79 – Planning policies and decisions should avoid the development of isolated homes in the countryside unless one or more of the following circumstances apply:

- (f) there is an essential need for a rural worker, including those taking majority control of a farm business, to live permanently at or near their place of work in the countryside;
- (g) the development would represent the optimal viable use of a heritage asset or would be appropriate enabling development to secure the future of heritage assets;
- (h) the development would re-use redundant or disused buildings and enhance its immediate setting;
- (i) the development would involve the subdivision of an existing residential dwelling; or
- (j) the design is of exceptional quality, in that it:
  - is truly outstanding or innovative, reflecting the highest standards in architecture, and would help to raise standards of design more generally in rural areas; and
  - would significantly enhance its immediate setting and be sensitive to the defining characteristics of the local area.

Section 12 – Achieving well-designed places

**North Lincolnshire Local Plan:** DS1, DS3, DS7, DS14, DS16, LC5, RD2, RD5, T19 and T2

**North Lincolnshire Core Strategy:** CS1, CS2, CS3, CS5, CS7, CS8, CS17 and CS18

## **CONSULTATIONS**

**Highways:** No objection.

**Drainage:** No objection.

**Environmental Protection:** No objection, but recommend a condition relating to possible land contamination.

**Ecology:** No objection, but recommend conditions to minimise harm to protected and priority species, and habitats, and seeking biodiversity enhancements.

## **PARISH COUNCIL**

No objection.

## **PUBLICITY**

The application has been advertised by a site notice and in the press as a departure from the local plan. No responses have been received.

## **ASSESSMENT**

**The main issues to be considered are whether adequate justification can be demonstrated with regard to the principle of the development, and the impact of the proposal in terms of character and design, neighbouring amenity, drainage, land quality, the highway and ecology.**

### **The site**

The site is located on the south-west side of Saxby Road and is occupied by a single-storey building (a redundant workshop), which has a pitched roof finished in profiled aluminium. The workshop is close to two other, storage, buildings serving a family-run business of agricultural supplies, which has been operating since 1950. A two-storey building, adjoining and to the north of the workshop, serves as a separate dwelling house (North-Holme). The site benefits from a large parking forecourt to the north-east (front) and landscaping to the south and west (side and rear) which defines the plot.

The site lies within the open countryside, outside the nearest settlement boundary of Bonby, which is approximately 1.5 kilometres to the south-east. There are no tree preservation orders (TPOs) within or adjacent to the site; the site is within flood zone 1 SFRA (low); and it is not within a conservation area.

### **The proposal**

Planning permission is sought to change the use of a redundant workshop into a new dwelling, including a new roof extension to the front and rear. The dwelling would serve a

senior family member and would make a work-from-home living space as well as providing additional security.

The proposal would consist of internal alternations and reconfigurations to accommodate independent living, that is: two bedrooms, a lounge/dining room, kitchen, bathroom, etc. Elevational changes include new windows, a front-facing gable roof, a rear-facing gable roof, removal of the existing pitched roof to the rear and the introduction of a 0.9 metre access gap between the new dwelling and North-Holme, with timber door. The proposed materials include dark brown tiles (roof), matching buff coloured facing bricks (walls), white PVC double-glazed windows, and white PVC gutters and valleys.

## Principle

The site lies outside the settlement boundary and the proposal would represent a departure from the North Lincolnshire Local Plan. In determining whether the principle of residential development outside the settlement boundary is acceptable in this instance, it is necessary to consider whether the proposed development is sustainable in planning policy terms.

The site benefits from a previous planning approval (PA/2015/1457), approved by the planning committee, dated 10 February 2016. This approval has lapsed and the applicant wishes to re-submit. The only notable change in design between the previous approval and this application is that a small separation gap has been proposed between the new dwelling and North-Holme. This is considered to be a betterment in the design.

The applicant acknowledges that the proposed change of use (to a new dwelling) is contrary to existing planning policies but states that the introduction of an additional residential unit on the site would provide additional security and supervision of the existing business, enabling them to respond to urgent enquiries for supplies out of normal hours.

With regard to policy, policy RD2 of the local plan (development in the countryside) does not allow for new dwellings in the open countryside unless they are essential for agriculture or forestry. This new dwelling is not considered to be essential and so would not satisfy policy RD2. Policy RD5 of the local plan (alternative uses of industrial and commercial sites in the open countryside) is also relevant. To satisfy policy RD5, the applicant would need to supply evidence to demonstrate that the site has been marketed for employment uses for 12 months prior to the application being made, to retain the site for employment use, or demonstrate that its continued employment use would harm the character and appearance of the open countryside. No evidence of this kind has been submitted.

It is acknowledged there is a need for housing in North Lincolnshire as the council currently does not have a five-year land supply, and the proposed new dwelling would make a modest contribution (albeit a two-bedroom unit). Notwithstanding the development plan policies set out above, the National Planning Policy Framework (NPPF) is a material consideration when determining planning applications. Paragraph 79 states that planning policies and decisions should avoid development of isolated homes in the countryside unless, under section (c), *'the development would re-use redundant or disused buildings and enhance its immediate setting'*. In this case the proposal would re-use a redundant workshop building and would enhance the immediate setting of the area in the interest of placemaking. As such, the proposal would be in accordance with paragraph 79 of the NPPF.

The previous planning approval is also a material consideration. The previous approval by the planning committee determined the acceptability of the principle of development of a new dwelling in this location. The only difference between this application and the previously approved application is that a slight change in design (the separation gap). It is accepted that the proposed new dwelling would go against the policies stipulated within the local plan; however, each application is assessed on its own individual merits. Considering the context of the previous planning approval, and given the re-use of the redundant workshop (paragraph 79(c) of the NPPF), on balance, the principle of the development in this location is acceptable.

### **Impact on character and design**

The NPPF attaches great importance to the design of the built environment. Paragraph 130 states that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area. Policy DS1 of the North Lincolnshire Local Plan (adopted May 2003) and policy CS5 of the Core Strategy (adopted June 2011) are concerned with quality of design and amenity. In respect of impact on character, policy DS1 states that the design and external appearance of the proposal should reflect or enhance the character, appearance and setting of the immediate area.

The proposed new dwelling would make use of the existing workshop space with minimum external alterations as it would fall largely within the same footprint. The proposed new front-facing pitched roof would be visible from the local area; however, it would appear as a modest form of development and would integrate into the character of the building. Although the proposed gap between the new dwelling and North-Holme would visually depict two separate units, this would not significantly harm the local area. A walled garden, bin storage and patio area would be located to the rear of the building and would not be readily visible. Overall, the proposal would be of a simple and befitting design.

By way of its design, detailing and appearance, it is considered that the proposal would reflect the character and setting of the immediate area and would not significantly impact the vernacular of the open countryside. As such, the proposal would accord with policies DS1 of the local plan and CS5 of the Core Strategy.

### **Impact on the amenity of neighbours**

Policy DS1 of the North Lincolnshire Local Plan and policy CS5 of the Core Strategy are concerned with quality of design and amenity. In respect of impact on amenity, policy DS1 states that no unacceptable loss of amenity to neighbouring land uses should result in terms of noise, smell, fumes, dust or other nuisance, or through the effects of overlooking or overshadowing.

The only potentially impacted residential property would be North-Holme. Given the proposed new dwelling would be single-storey and considering its modest design, it would result in no additional impacts on amenity, by overlooking or loss of privacy. It is therefore considered that the proposed new dwelling would not prejudice neighbouring amenities and, as such, the proposal would accord with policies DS1 of the local plan and CS5 of the Core Strategy.

It is noted that North-Holme is not owned by the applicant; however, it is owned by a family member. The Environmental Health Officer recommends a condition (condition 2) that was

attached to the previous approval. This condition was imposed to ensure that the dwelling is occupied by either an employee or relative of the owner of the adjacent business, so that they are not disturbed by noise from the business. The applicant has agreed to that same condition being attached to any permission granted.

### **Drainage**

Policy CS19 of the Core Strategy is concerned with flood risk, whilst policy DS14 of the local plan is concerned with foul sewage and surface water drainage. The site is located within flood zone 1 and therefore is a preferred place for development in terms of flood risk. The council's drainage team have been consulted and have no objections. As such, the development would be in accordance with policies DS14 and CS19.

### **Land quality**

Policy DS7 of the local plan is concerned with contaminated land. It states that permission will only be granted on contaminated sites where a detailed site survey has been submitted, and a suitable scheme of remedial measures has been agreed to overcome any existing contamination. The site is proposed to be a vulnerable use. The applicant has provided information regarding land quality, which the Environmental Health Officer has reviewed. They have provided comment and recommend a condition relating to contamination of land. This condition was originally recommended and upheld after the applicant submitted information regarding land quality, and will be attached to any permission granted.

### **Highways**

Policy T2 of the North Lincolnshire Local Plan states that all development should be served by a satisfactory access. Policy T19 is concerned with parking provision as well as general highway safety. Both policies are considered relevant. The site is served by an existing means of access and has sufficient off-road parking. The council's highways department has no objection to the proposal. It is therefore considered that the proposal would be in accordance with policies T2 and T19.

### **Ecology**

An ecological report has been submitted with the application based on a survey of the existing building for bats, barn owls and breeding birds. It concludes that there is no evidence of any protected species. The report has been reviewed by the council's ecologist and no objection has been received. However, conditions have been recommended to minimise harm to protected and priority species, and habitats. A condition seeking biodiversity enhancements has also been recommended. These conditions will be attached to any grant of permission.

### **Conclusion**

Whilst the proposal is within the open countryside and would be contrary to the relevant local plan policies, the previous planning approval and paragraph 79(c) of the NPPF have been given significant weight. On balance, it is considered that the proposal is a justified departure from the development plan.

### **Other matters**

A structural inspection was carried out, which concluded that the buildings are capable of conversion to residential use without any major demolition or reconstruction of the building fabric.

The applicant would like planning committee members to be aware that serious family issues (two very close family members having now sadly passed away) prevented the previous planning permission being implemented. A testimony document has been submitted with the application.

The recommended conditions have been agreed with the agent.

**RECOMMENDATION      Grant permission subject to the following conditions:**

1.

The development must be begun before the expiration of three years from the date of this permission.

Reason

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans: DRWG/PA/2020/564/01 Site Location Plan; DRWG/PA/2020/564/01 Block Plan; EDS381-01 Rev A Existing Plan & Elevations; EDS381-02 Rev C Proposed Plan & Elevations; Design & Access Statement Rev A 29/04/2020; Bat, Barn Owl & Breeding Bird Scoping Survey prepared by MAB Environment & Ecology Ltd; C12076 Structural Inspection prepared by Maltech.

Reason

For the avoidance of doubt and in the interest of proper planning.

3.

Unless otherwise agreed by the local planning authority, development other than that required to be carried out as part of an approved scheme of remediation must not commence until parts 1 to 4 below have been complied with. If unexpected contamination is found after development has begun, development must be halted on that part of the site affected by the unexpected contamination to the extent specified by the local planning authority in writing until part 4 has been complied with in relation to that contamination.

**Part 1: Site Characteristics**

A Phase 1 desk study shall be carried out to identify and evaluate all potential sources of contamination and the impacts on land and/or controlled waters, relevant to the site. The desk study shall establish a 'conceptual model' of the site and identify all plausible pollutant linkages. Furthermore, the assessment shall set objectives for intrusive site investigation works/Quantitative Risk Assessment (or state if none required). Two full copies of the desk study and a non-technical summary shall be submitted to the local planning authority for approval prior to proceeding to further site investigation.

An investigation and risk assessment, in addition to any assessment provided with the planning application, must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site. The contents of the scheme are subject to the approval in writing of the local planning authority.

The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the local planning authority. The report of the findings must include:

- (i) a survey of the extent, scale and nature of contamination;
- (ii) an assessment of the potential risks to:
  - human health;
  - property (existing or proposed), including buildings, crops, livestock, pets, woodland, and service lines and pipes;
  - adjoining land;
  - groundwaters and surface waters;
  - ecological systems;
  - archaeological sites and ancient monuments;
- (iii) an appraisal of remedial options, and a proposal of the preferred option(s).

This must be conducted in accordance with DEFRA and the Environment Agency's 'Model Procedures for the management of Land Contamination, CLR 11'.

#### Part 2: Submission of Remediation Scheme

A detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment must be prepared and is subject to the approval in writing of the local planning authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

#### Part 3: Implementation of Approved Remediation Scheme

The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out remediation, unless otherwise agreed in writing by the local planning authority. The local planning authority must be given two weeks' written notification of commencement of the remediation scheme works.

Following completion of measures identified in the approved remediation scheme, a verification report (referred to in PPS23 as a validation report) that demonstrates the effectiveness of the remediation carried out must be produced and is subject to the approval in writing of the local planning authority.

#### Part 4: Reporting of Unexpected Contamination

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to

the local planning authority. An investigation and risk assessment must be undertaken in accordance with the requirements of Part 1, and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of Part 2, which is subject to the approval in writing of the local planning authority. Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the local planning authority in accordance with Part 3.

#### Reason

To ensure that the risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to works, neighbours and other off-site receptors in accordance with policy DS7 of the North Lincolnshire Local Plan.

4.

The occupation of the dwelling shall be limited to a person solely or mainly working or last working in the adjacent commercial premises or a widow or widower of such a person and to any resident dependants.

#### Reason

The site is in the open countryside where new housing is normally restricted. This permission has been granted to assist in the management of the adjacent business. The condition is also necessary to ensure that residents are unlikely to be disturbed by the adjacent business.

5.

No development shall take place until a protected species method statement has been submitted to and approved in writing by the local planning authority. The method statement shall include details of measures to avoid harm to bats and nesting birds during demolition, vegetation clearance and construction works.

#### Reason

To conserve biodiversity in accordance with saved policy LC5 of the North Lincolnshire Local Plan and policy CS17 of the North Lincolnshire Core Strategy.

6.

Within three months of the commencement of development, the applicant or their successor in title shall submit a biodiversity management plan to the local planning authority for approval in writing. The plan shall include:

- prescriptions for the installation of bat bricks or bat boxes on the new dwellings;
- prescriptions for the installation of nest boxes for farmland birds on the new dwelling and on retained trees;
- provision for hedgehogs to pass through any fencing installed between gardens and between areas of grassland;
- prescriptions for landscaping using trees, shrubs and hedge plants of high biodiversity value;

- restrictions on external lighting to avoid impacts on bat roosts, bat foraging areas and sensitive habitats;
- proposed timings for the above works in relation to the completion of the buildings.

**Reason**

To protect features of recognised nature conservation importance in accordance with policies CS5 and CS17 of the North Lincolnshire Core Strategy.

7.

The biodiversity management plan shall be carried out in accordance with the approved details and timings, and the approved features shall be retained thereafter, unless otherwise approved in writing by the local planning authority. The applicant or their successor in title shall submit photographs of the installed bat roosting and bird nesting features, within two weeks of installation, as evidence of compliance with this condition.

**Reason**

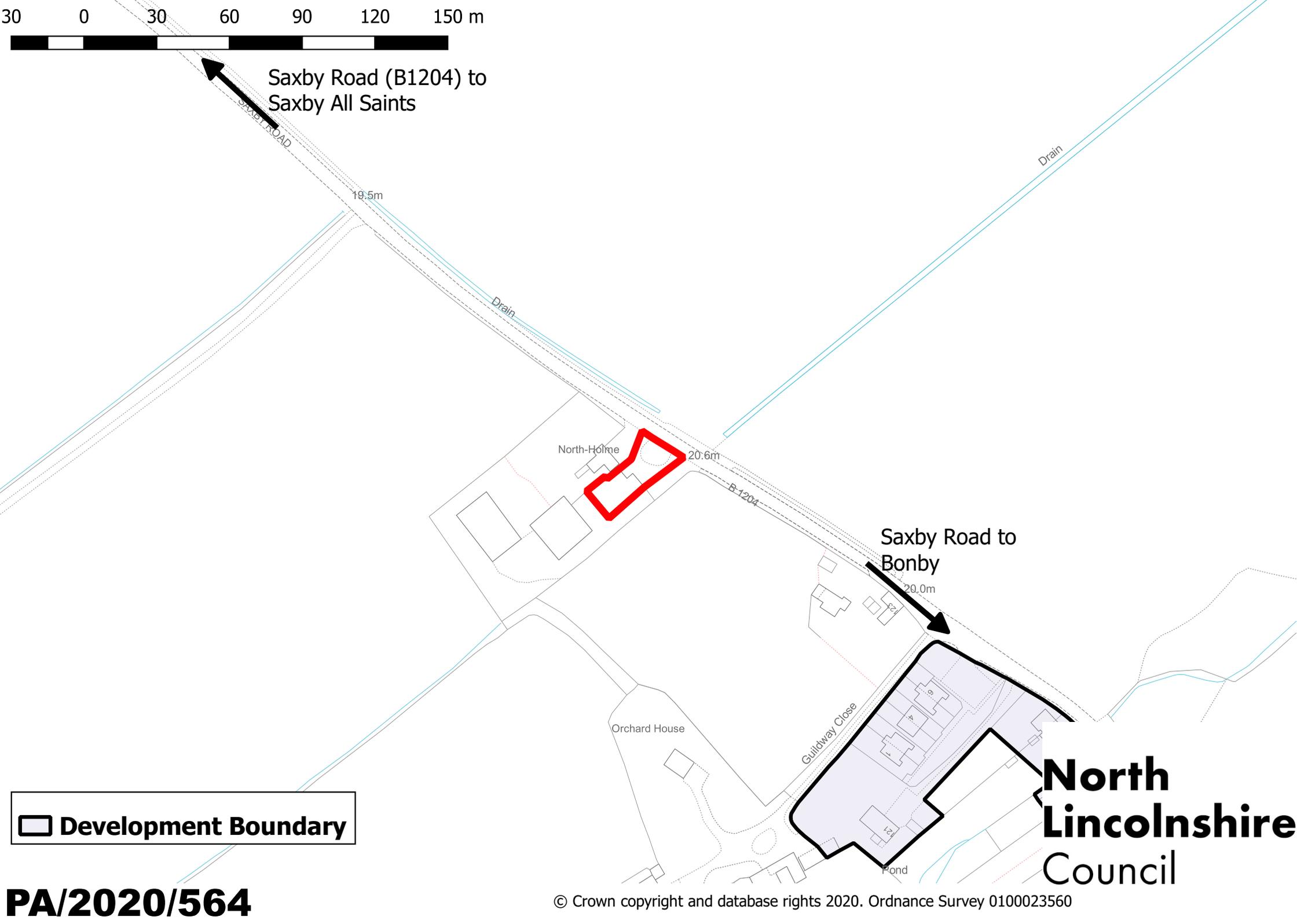
To protect and enhance features of recognised nature conservation importance in accordance with policy CS17 of the North Lincolnshire Core Strategy.

**Informative**

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 38 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.



Saxby Road (B1204) to Saxby All Saints



Saxby Road to Bonby

 **Development Boundary**

**North  
Lincolnshire  
Council**

**PA/2020/564**

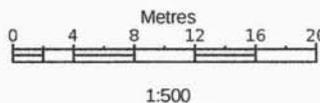
# PA/2020/564 Block plan (not to scale)



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North Holme, Main St, Bonby, Brigg  
DN20 0PY

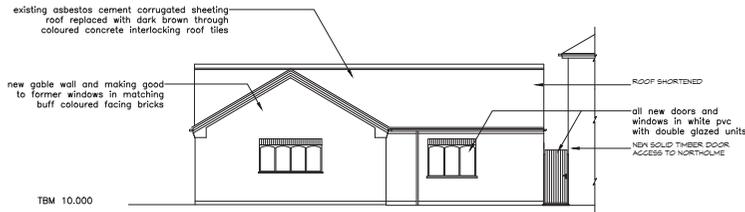
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## DRWG/PA/2020/564/02

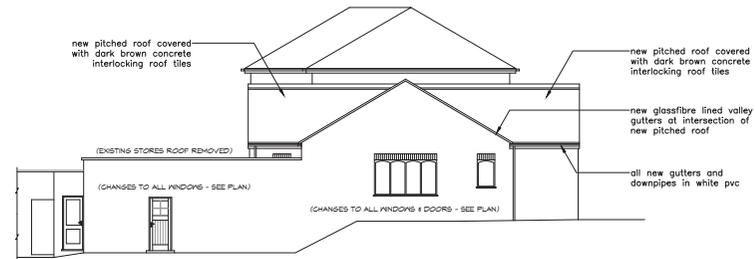
RE-SUBMITTED BY EARN DESIGN SERVICES LIMITED UNDER OS LICENCE No. 100034838

# PA/2020/564 Proposed elevations and floor plan (not to scale)

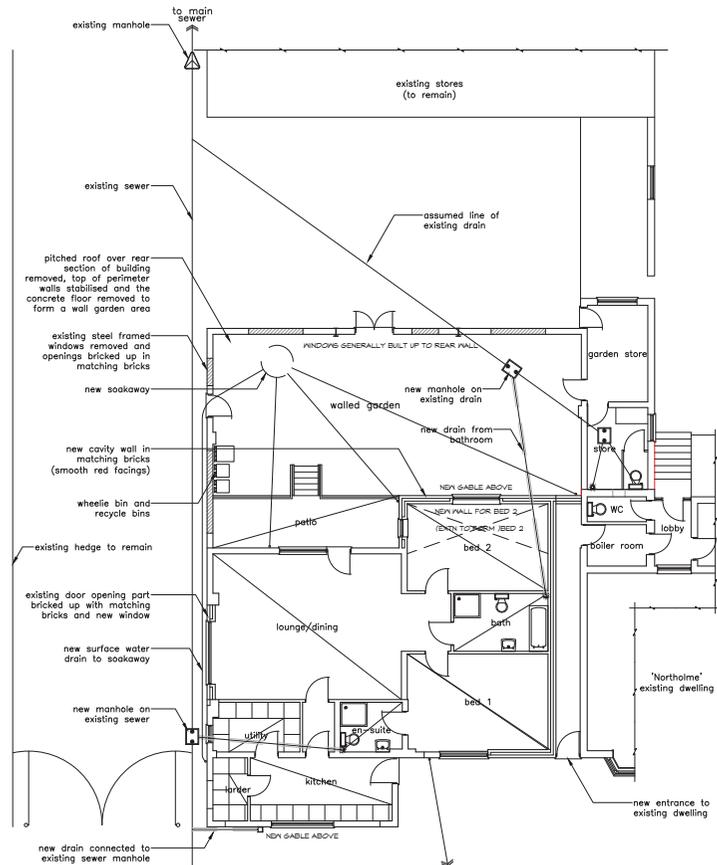
ALL DIMENSIONS & DETAILS GIVEN ON THIS DRAWING ARE TO BE CHECKED ON SITE BY THE CONTRACTOR PRIOR TO WORKS STARTING  
ANY DISCREPANCIES TO BE NOTIFIED TO EARN DESIGN SERVICES LIMITED AS SOON AS POSSIBLE



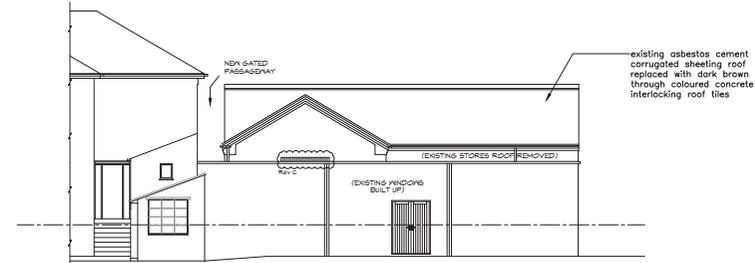
proposed front elevation



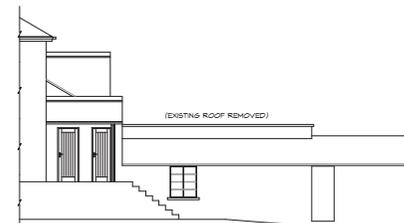
proposed side elevation



proposed layout plan



proposed rear elevation



proposed side elevation/section



## PLANNING ISSUE

Date	Drawn	Revision
29/04/20	Mike Upton	ADDITIONAL DETAIL FOR PLANNING
30/04/20	Mike Upton	INDICATIVE BED 2 WINDOW TO PATIO REMOVED FROM SIDE ELEVATION
30/04/20	Mike Upton	BED 2 REAR WINDOW BRICK HEADERS SHOWN ABOVE GARDEN WALL
E		
D		

**EARN DESIGN SERVICES LIMITED**  
"Eldersham"  
1 Schofield Close,  
Barrow upon Humber,  
North Lincolnshire.  
Email: miked@earn-design.co.uk  
Tel: 01750 861 254 (M)  
and 01464 832 106 (O)  
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Mr. J. & Mrs. V. ADDISON  
**PROPOSED CONVERSION & SMALL EXTENSION TO EX-AGRICULTURAL STORE INTO A SINGLE DWELLING ADJACENT TO NORTHOLME, SAXBY ROAD, BONBY**

## PROPOSED PLAN & ELEVATIONS

Drawn: Mike Upton	Date: 28/09/20	Scale: 1:100 @ A1
Checked:	Drawing No:	Revision:
Approved:	<b>EDS381-02</b>	<b>C</b>